

CODE OF STANDARDS
ARCHITECTURAL CONTROL COMMITTEE (ACC)
PINEWOOD LAKE HOMEOWNERS ASSOCIATION (PLHA)

This publication of our community standards is intended to assist you with any exterior projects you may undertake. The PLHA Declaration of Covenants, Conditions, and Restrictions (DCCR), Article VIII, provides that ANY change of the exterior portion of our townhouses, including the erection of structures on the premises, must be approved by the ACC. This requirement includes not only all house paint, but also window design and all exterior structures such as: patios, walkways, fences, walls, large hedges, sheds, doghouses, awnings, TV antennas, and roof structures. ***The purpose of the ACC is to protect your property investment by applying common sense and good judgment on a consistent basis and to preserve the atmosphere of Pinewood Lake's Federalist period styling and colors. The ACC covenants and standards have been established to maintain the fine appearance Pinewood Lake has enjoyed in the past. The standards are not intended to restrict individuality.***

Approval Procedures. The following procedures facilitate action on your requests for approval of exterior projects and help your ACC complete its work more efficiently.

WHEN YOU DECIDE TO MAKE IMPROVEMENTS:

1. Plan your project well in advance (two months is good) of when you hope to start. Think out the entire project in detail before drafting a request.
2. Secure an ACC Request/Approval Form from the PLHA office (see sample on Page III-39). Complete the form in duplicate and return both copies to the office. Please include sketches or pictures. Color chips of house paints desired, if not in the book of approved colors, are a **"MUST."** These details help preclude time-consuming inquiries that slow the approval process and delay starting your work. However, the ACC will seek clarification when necessary.
3. The ACC will consider new projects not covered in the standards. Upon receipt of a homeowner's request, the ACC will, with the homeowner's assistance, establish a position concerning the project and will make recommendations to the PLHA Board. The PLHA Board has the final authority to approve or disapprove deviations to the Code of Standards. As this can be a lengthy process, it is suggested the home owner bring prospective projects to the ACC's attention at least two (2) months before desired start of project.

ACC CODE OF STANDARDS, Continued.

WHAT HAPPENS NEXT?

Your request will be reviewed for its individual merit at the next meeting of the ACC. Meetings are held twice each month from May through September and once each month from October through April. Meetings are held in the PLHA office, at times and dates announced in The Needle. If there are no problems, the approved request form will be returned to you at the earliest possible date.

WHAT IF YOU GO AHEAD WITHOUT APPROVAL?

The ACC encourages all homeowners to submit an ACC Request/Approval Form prior to beginning the project. Failure to secure ACC approval could result in a directive to take corrective action.

ACC Walk-Around. Every spring and fall, ACC members walk through their assigned streets and look at each home. Their function is to determine if community ACC standards are being met. The completed Walk-Around Form, with any discrepancies noted (see sample-page III-40), is sent to homeowners after each inspection. A reasonable amount of time is given for correction. The standards and criteria for violation of the standards are itemized on the following pages.

In addition to the major walk-around, ACC members make periodic checks of their assigned streets throughout the year and also investigate homeowner complaints regarding alleged violation of standards.

Enforcement. Residents in violation of the covenants are subject to an orderly process which will result first in suspension of pool privileges and second in requiring the violation be corrected at the owner's expense. (Declaration of Covenants, Article IX, pg I-10, and By-Laws, Articles IV, pg I-22, and XVII, pg I-33.)

Annual Outstanding Home Award. The ACC selects which homes in Pinewood Lake receive the award. Receipt of the award does not guarantee that the home is in compliance with all ACC Standards. Plaques should be mounted on left front gate posts except Saint Annes Court where they should be affixed at the side of the front door.

ACC CODE OF STANDARDS, Continued.

Major Sections of the ACC Standards

These are the Major Sections of the ACC Standards, and may be referred to in correspondence to the ACC, or on the ACC Request for Approval form when describing repairs or modifications.

<u>Section:</u>	<u>Subject:</u>
1.	Fences, Posts, and Arbors (see List of Illustrations, next page)
2.	Parking Pads
3.	Yards
4.	Lanterns
5.	Ornaments
6.	Mailboxes
7.	Security Systems
8.	Decks and Patios
9.	Sheds
10.	Awnings
11.	Chimneys and Firewood
12.	Fans/Air Conditioners/Attic Fans
13.	Large Playtoys
14.	External Antennae
15.	Rear Siding
16.	Other DCCR* Restrictions
17.	Paint Standards
18.	Window Design
19.	Vines
20.	Shutters
21.	Doors & Storm Doors
22.	Sample Request Form
23.	Sample Walk-Around Form
24.	Appendix on Fence Construction, Maintenance, and Repair
25.	Paint Standards Appendix

* DCCR - Declaration of Covenants, Conditions, and Restrictions.

Refer also to the Index, at the back of the book, when searching this publication for subject matter discussion.

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List of Illustrations

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Questions concerning these illustrations, or any other provision of the ACC Standards, should be referred to the ACC Administrator, through the PLHA Office, 8159 Fernlake Court, Tel: 703-360-6212.

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SECTION 1 - FENCES AND ARBORS IMPACT ON NEIGHBORS AND THE COMMUNITY

Proper fencing can have a unifying and a positive economic effect upon a neighborhood but improper fencing can only detract. Cluttering our community by an uncoordinated selection or placement of fences must be avoided. Cooperation among community members in this matter can affect the visual and psychological harmony of the area.

Unquestionably, anyone's fence will be shared with his neighbors, even if the neighbors have only to look at one side of it. An inconsiderately placed or designed fence can box a neighbor in, destroy the view, ignite community hostility, violate County and ACC requirements, and reduce property values. Therefore, it is important to remember to properly maintain existing fences and adhere to the community codes/standards.

Any fences between neighboring lots are considered to be shared fences, regardless of the actual location with respect to the property lines. As such, the neighboring owners will have a shared responsibility for the maintenance and upkeep of those fences. In the event that the fence does not comply with the Standards herein, the Association will issue a citation to both owners. Should the owners fail to resolve the issue, the Association reserves the right to pursue enforcement against both owners, including entering upon the property, making the necessary repairs, and assessing the costs to each owner.

For unresponsive neighbors when trying to repair/replace/paint/stain a shared fence, homeowners shall submit an ACC Request Form with a copy of a letter sent to their neighbor and a certified mail delivery receipt showing date of delivery in lieu of their neighbor's signature. Certified mail delivery receipt must be at least 30-days prior to submitting the form to ACC to allow time for the neighbor to respond.

For your reference, this section is organized in the following order: Fence Standards, Approved Fence Types (with accompanying diagrams), Fence Locations (followed by paragraphs describing each approved fences for each of the six locations), Arbor Standards, Painting of Fences and Arbors, and Criteria for Violation.

FENCE STANDARDS

Fences in the front, on the side, in the rear, and between townhouses are permanent parts of the Pinewood Lake architectural plan and serve to distinguish our community from the myriad of others whose yards are virtually common areas. These fences may not be removed, altered, or modified to include change in style or height without prior ACC approval. No fence shall

ACC CODE OF STANDARDS, Continued.

encroach upon any easement or common area. In all locations, original fence dimensions and design will be maintained with quality wood and workmanship. All fences must be painted or where permitted may remain natural or stained in accordance with the paint standards for fences.

APPROVED FENCE TYPES

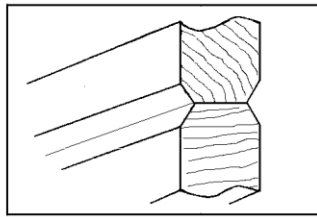
All fences must be one of the following types and conform to the illustrations for each type. Please note that not all types are approved for all locations on your property.

a. TONGUE-AND-GROOVE (The original Pinewood Lake design).

Tongue-and-groove materials create a solid infill for fencing since the edges inter-lock. The effect is simple, attractive, and orderly. Narrow shadow lines where the boards interlock give a subtle yet perceptible visual rhythm.

b. TONGUE-AND-GROOVE“LOOK ALIKE” (Abutting Boards).

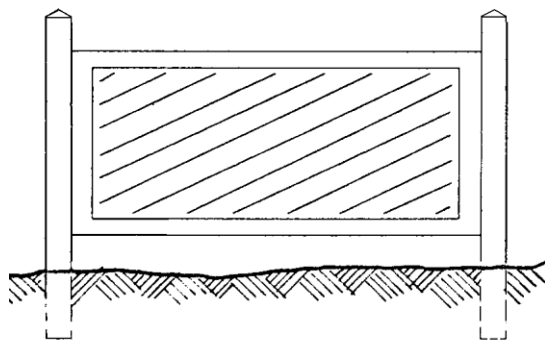
Same fence panel design as a., but without the use of the actual tongue-in-groove diagonal infill. The “look alike” uses abutting diagonal boards with a groove cut in them at each joint to produce a shadow line, which punctuates the diagonal direction, similar to the tongue-and-groove.



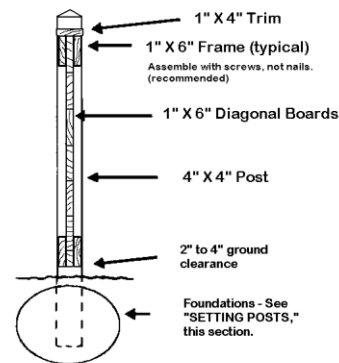
ABUTTING BOARDS (TONGUE & GROOVE “LOOK-ALIKE”)



TONGUE AND GROOVE



ELEVATION - NOT TO SCALE



SECTION



PLAN VIEW - DIAGONAL TONGUE & GROOVE

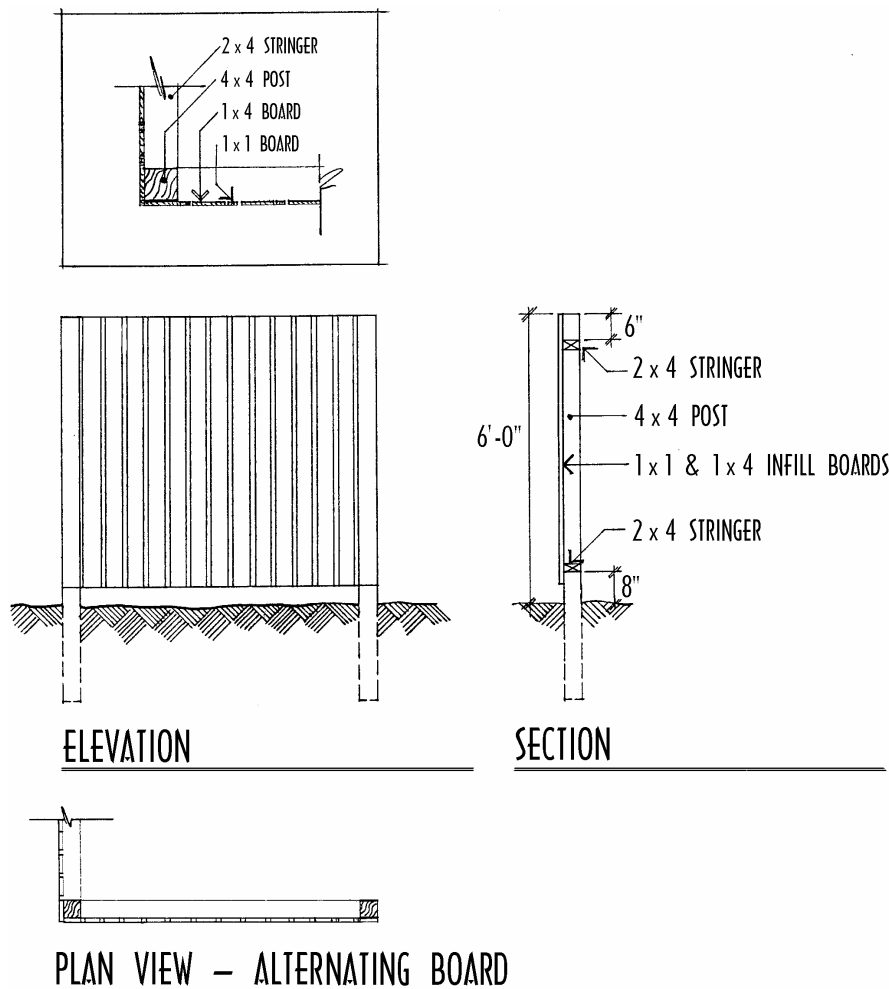
ACC CODE OF STANDARDS, Continued.

c. WROUGHT IRON FENCES

These fence panels must measure 27 inches from top rail to bottom rail. Wrought iron fence panels are to be installed between vertical wooden posts. The horizontal top rail will be of the same design and dimension as the original front fence. Their vertical iron members are to be 3/8 inch square bar stock; the horizontal member (top rail) may be 3/8 inch square or 1/2 inch square by 1 1/2 inch bar stock. Wrought iron fences will be painted BLACK ONLY.

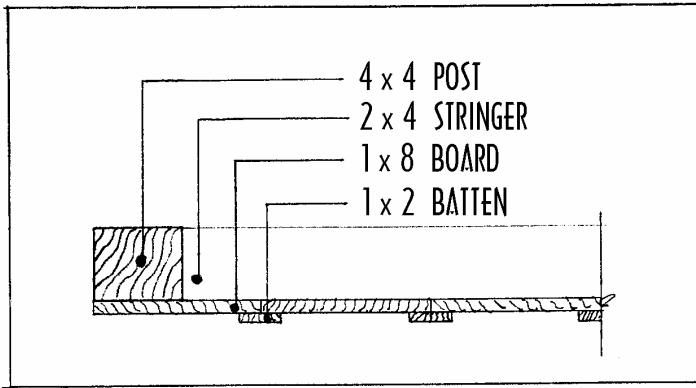
d. ALTERNATING BOARD

A way of adding rhythm and scale to a simple, straightforward board fence. The shift from wide to narrow sets a distinctive pattern. Board edges abut, and at each joint, a subtle shadow line is produced, which punctuates the vertical direction.

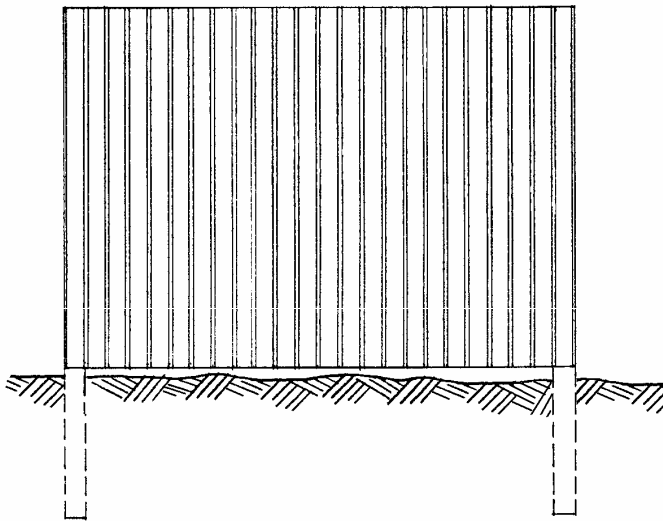


ACC CODE OF STANDARDS, Continued.

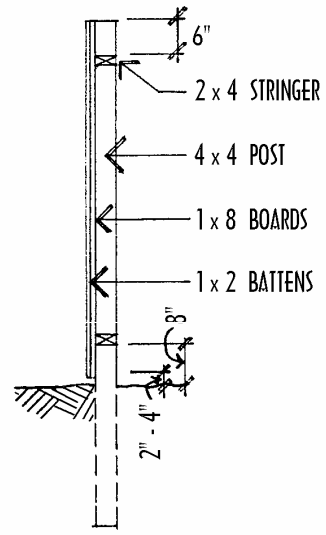
e. BOARD AND BATTEN Boards are mounted on the fence framework first, with a small expansion gap between each; then battens are fastened to the boards to cover each joint. Even when/if the boards shrink as they season, the battens conceal the gaps, so complete privacy is ensured over time.



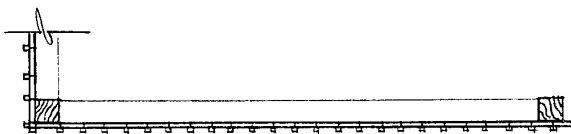
PLAN VIEW DETAIL



ELEVATION



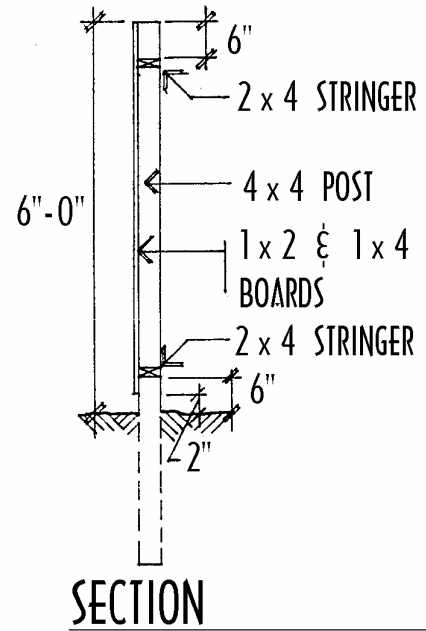
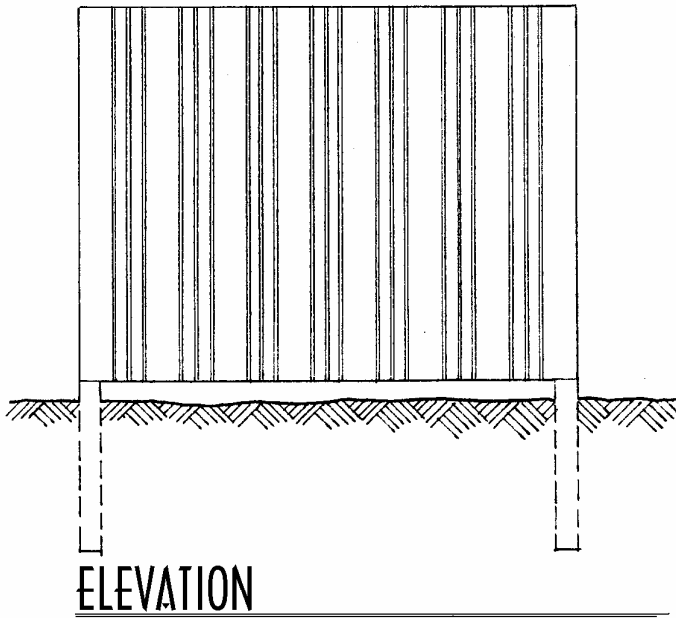
SECTION



BOARD AND BATTEN STYLE FENCE

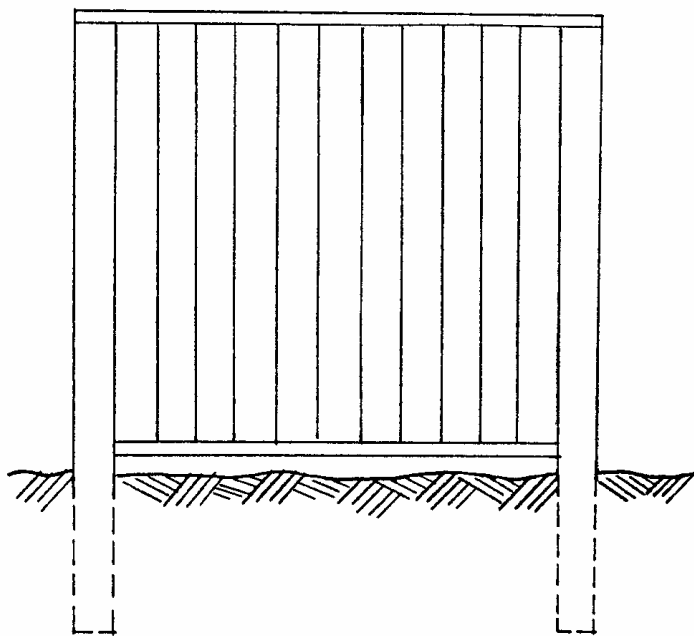
ACC CODE OF STANDARDS, Continued.

f. BOARDS AND SLATS With spaces between them, compose a fence with a light look and a pleasing visual rhythm. The surface is semi-closed, which yields ample privacy.

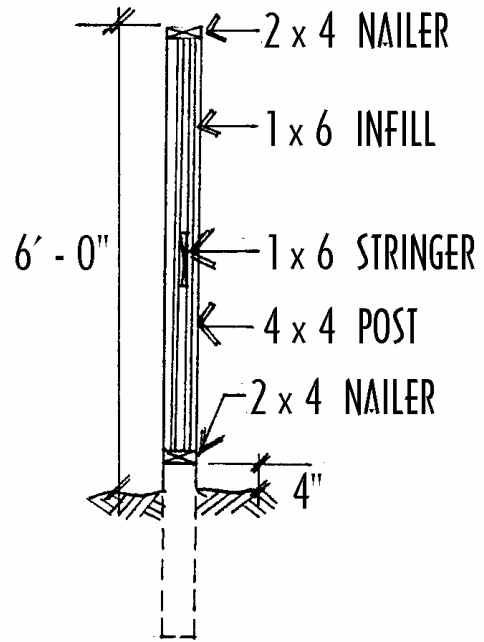


ACC CODE OF STANDARDS, Continued.

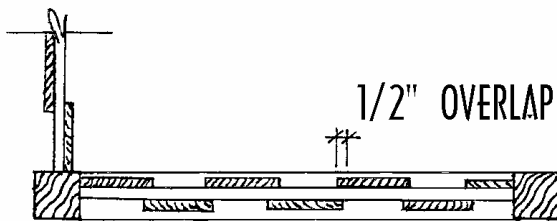
g. BOARD-ON-BOARD Gives a full, closed fence surface, and therefore offers full privacy. Because the boards are fastened to one central nailer, but changes sides, board - by - board, the configuration allows gentle passage of breezes and free ventilation. The infill is inset to the frame, which requires some care in fitting, but is worth the effort.



ELEVATION



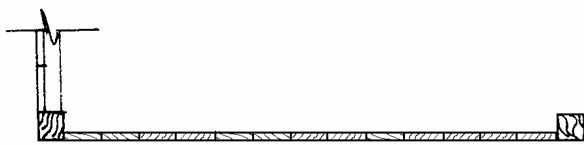
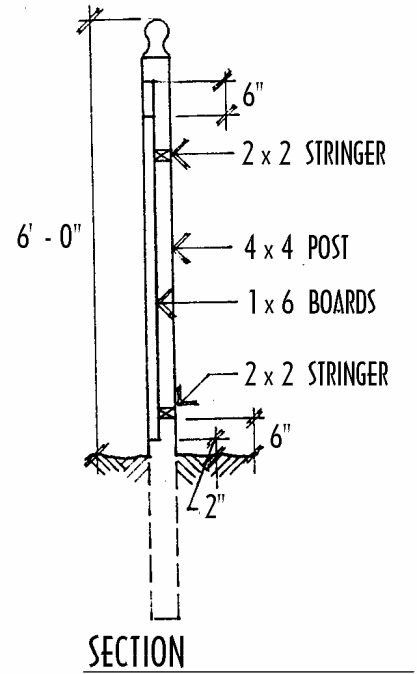
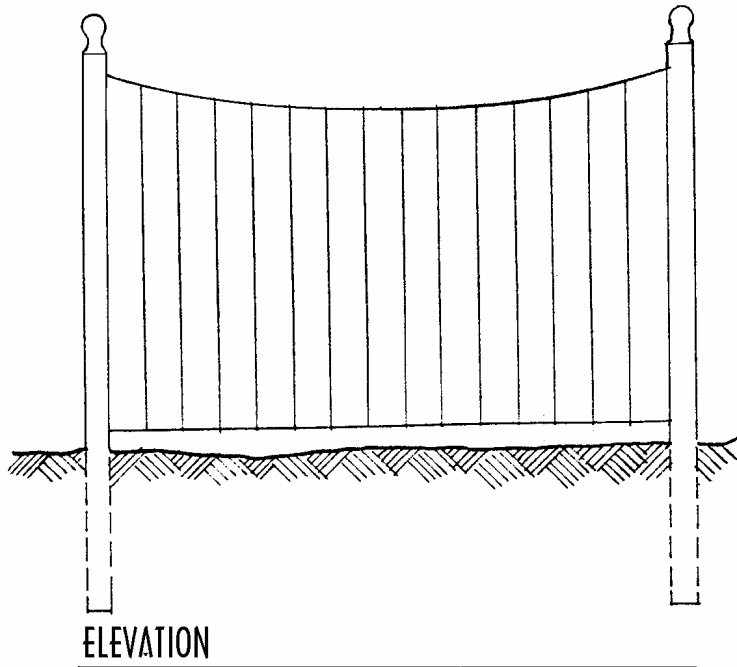
SECTION



PLAN - BOARD-ON-BOARD

ACC CODE OF STANDARDS, Continued.

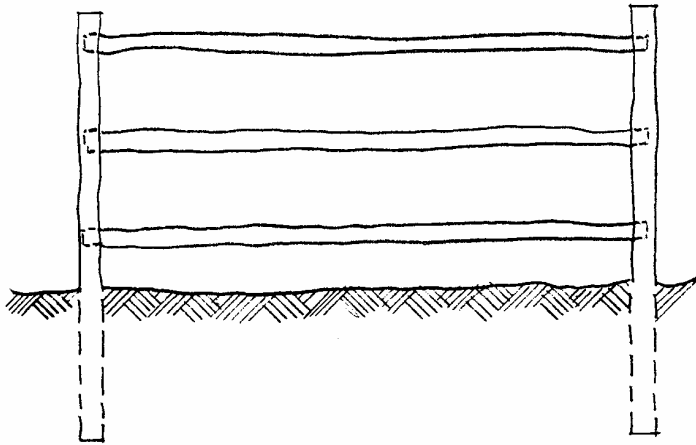
h. WILLIAMSBURG SCALLOP A traditional Williamsburg straight-forward board fence with scallop. The board edges abut each other, producing a shadowline which punctuates the vertical direction.



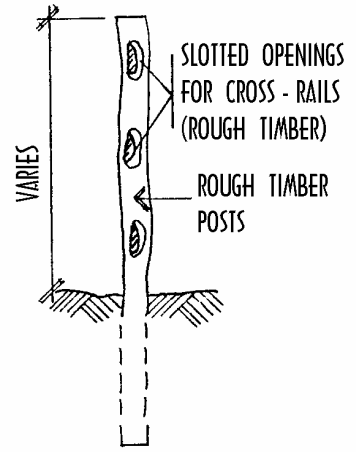
PLAN - WILLIAMSBURG SCALLOP

ACC CODE OF STANDARDS, Continued.

i. RANCH STYLE SPLIT RAIL



ELEVATION



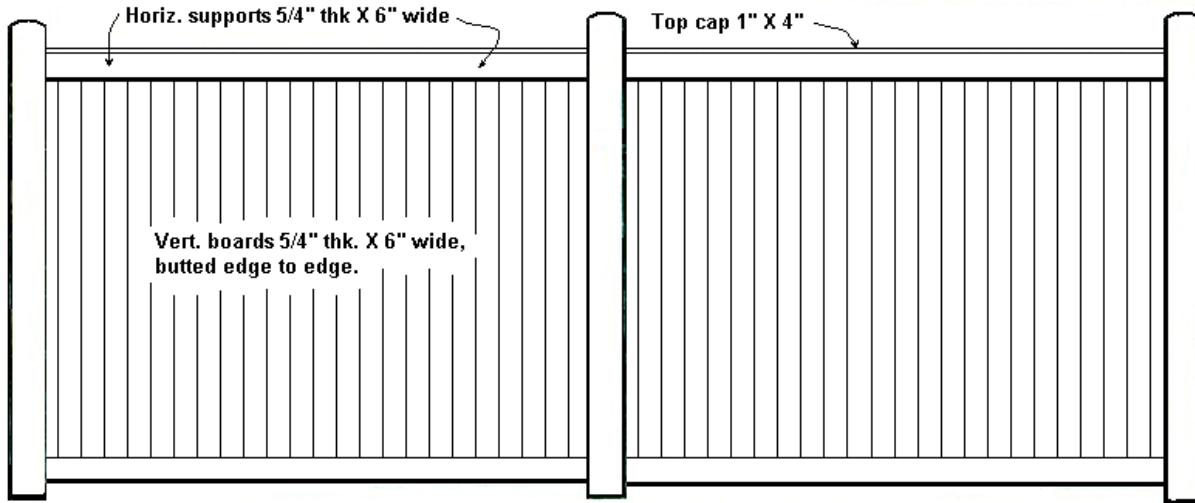
SECTION



PLAN - RANCH STYLE SPLIT - RAIL

ACC CODE OF STANDARDS, Continued.

j. VERTICAL STYLE:



This style is very similar to the perimeter fence, except for larger post sizes. Height and width of panels must be the same size as replaced. New construction must be the same as existing fences in the community. An ACC Request Form (see Page III-39) must be submitted and approved before replacing an existing fence, or constructing a new fence with this style.

Horizontal support boards must be 5/4" thick X 6" wide, four boards per panel.

Vertical boards will be 5/4" thick X 6" wide, and must be butted edge to edge when installed.

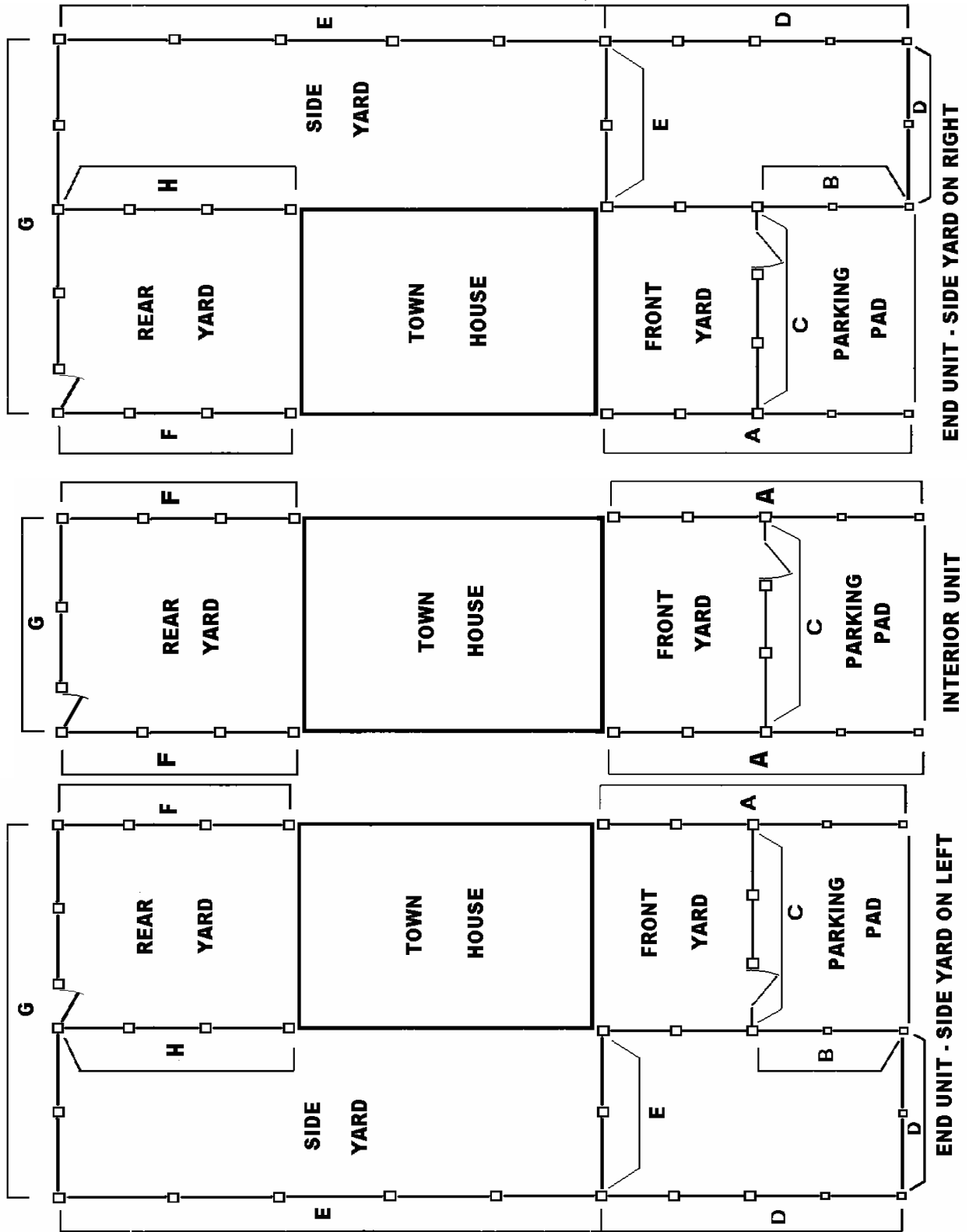
Fence posts must be the same size as existing posts if replacing; new fence posts must conform to the size of existing posts in the community. Each fence post must extend 6 inches above panels, and will be capped or beveled.

Fence panels must be the same size as the panels being replaced, and new panels must conform to the standard size in the community. Fence panels will be installed a minimum of 6 inches above grade. Each panel must be topped by a 1" X 4" trim piece.

FENCE LOCATIONS

There are three types of houses: interior units, end units with a side yard on the left, and end units with side yards on the right. Each is separately illustrated, and the location key follows the page of illustrations.

ACC CODE OF STANDARDS, Continued.



ACC CODE OF STANDARDS, Continued.

Key to the fence locations (illustrations on previous page):

- A**—Front side fences (applies only where houses share a common wall)
- B**—Parking pad side fences (only applies to end units)
- C**—Parking pad front fences (applies to all units)
- D**—Front fences (applies only to end units)
- E**—Side yard fences (applies only to end units)
- F**—Rear side yard fences (applies only where houses share a common wall)
- G**—Rear fences (applies to all units)
- H**—Rear side yard fences (applies only to end units)

FRONT SIDE FENCES (Legend A in Fence Locations)

Front fences between units sharing a common wall must be original style wooden tongue-and-groove panel construction. Genuine tongue-and-groove board construction is preferred. However, a tongue-and-groove “look alike” construction is acceptable. *In both cases, the use of preservative treated lumber or cedar is required.* Lumber should be of high quality in order to provide uniform appearances.

Homeowners wishing to alter or repair fences in this area **MUST** have the adjoining property owner's and the ACC's approval **BEFORE** starting work. The PLHA office staff, or the ACC Administrator, can provide, upon request, the address of the owner of an adjacent property.

PARKING PAD FENCE ALTERNATIVES FOR INTERIOR UNITS (The front portion of Legend A in Fence Locations)

Upon showing, to the satisfaction of the ACC, that subsurface soil, water, and safety conditions require replacing the tongue-in-groove or the tongue-in-groove "look alike" parking pad fence panels (only that part of the fence and arbors that parallel the parking pad), homeowners are given the following options. They may, and only after ACC approval:

- a. Replace the fence panels with a fence of identical design, size, and height.

ACC CODE OF STANDARDS, Continued.

b. Remove the parking pad fence panels, posts, and related arbors ONLY and plant the area with shrubs. If the homeowner decides to apply for approval to plant shrubs, the following additional standards must be adhered to:

(1) Either upright Japanese Holly, Hicks Upright Yew, American Arborvitae, Red-Tipped Photinia, or similar shrubs must be used.

(2) The shrub will be at least three (3) feet tall but not taller than four and one-half (4½) feet. These dimensions must be maintained throughout the life of the shrubs.

(3) The shrubs will be spaced not less than 24 inches and not more than 36 inches from its neighbor.

(4) Adequate drainage and proper mulching is required throughout the life of the shrubs.

c. Remove parking pad-only fence panels and replace with wrought iron fence panels of the same design, height, and gauge as the front wrought iron fence. Vertical arbor posts with or without cross struts may stay in place or be cut and capped so that the new beveled post tops match the distance from top rail of the front wrought iron fence.

Homeowners qualifying for the parking pad fence alternatives and choosing ANY one of the above MUST have the adjoining property owner's and the ACC's approval BEFORE starting work. The PLHA office staff, or the ACC Administrator, can provide, upon request, the address of the owner of an adjacent property.

PARKING PAD SIDE FENCES (Legend B in Fence Locations)

Homeowners may construct wrought iron fences or leave the area unfenced. Legend B only applies to that portion of end unit town houses that do not share a common wall.

PARKING PAD FRONT FENCES (Legend C in Fence Locations)

These fences may only be wrought iron of an approved design. They may never be removed or replaced with another fence type.

ACC CODE OF STANDARDS, Continued.

**FRONT FENCES
(Legend D in Fence Locations)**

Homeowners may construct one of the following fence types or leave the area unfenced. Legend D only applies to that portion of end unit town houses that do not share a common wall. No fences in this area may be higher than 4 feet.

- a. Tongue-and-groove
- b. Tongue-and-groove "look alike"
- c. Ranch style split rail
- d. Williamsburg scallop
- e. Wrought iron

CAUTION: In those cases where the end unit front fence is adjacent to a road or intersection, the property owner will furnish a written statement that details the owner's consultation with Fairfax County. This statement will accompany the ACC request form and will indicate that the County has reviewed the applicable County codes and approves the design.

**SIDE FENCES
(Legend E in Fence Locations)**

Fences on the side of end unit townhouses will be one of the following designs (styles): Homeowners may also elect not to construct a fence in this area.

- a. Tongue-and-groove
- b. Tongue-and-groove "look alike"
- c. Alternating board
- d. Board and batten
- e. Boards and slats
- f. Board-on-board
- g. Williamsburg scallop
- h. Ranch style split rail

CAUTION: In those cases where the end unit front fence is adjacent to a road or intersection, the property owner will furnish a written statement that details the owner's consultation with Fairfax County. This statement will accompany the ACC request form and will indicate that the County has reviewed the applicable County codes and approves the design.

**REAR SIDE FENCES
(Legend F and H in Fence Location)**

Rear fences between units sharing a common wall (Legend F) are required. Although the use of preservative treated lumber is preferred, vinyl is permitted, provided that it matches the style of the permitted types and is an approved rear fence color. Fences of either type must be one of the following types.

- a. Tongue-and-groove
- b. Tongue-and-groove "look alike"
- c. Alternating board
- d. Board and batten
- e. Boards and slats
- f. Board-on-board
- g. Williamsburg scallop
- h. Vertical style

ACC CODE OF STANDARDS, Continued.

Homeowners wishing to alter or repair fences in this area MUST have the adjoining property owner's and the ACC's approval BEFORE starting work. The PLHA office staff, or the ACC Administrator, can provide, on request, the address of the owner of an adjacent property.

REAR FENCES (Legend G in Fence Location)

Fences at the back of the property may be one of the following types. Original fence heights must be maintained. Homeowners may also elect not to construct a fence in this area. Although the use of preservative treated lumber is preferred, vinyl is permitted, provided that it matches the style of the permitted types and is an approved rear fence color, except that black is permitted only for wrought iron fences.

- | | |
|-----------------------------------|-------------------------|
| a. Tongue-and-groove | f. Board-on-board |
| b. Tongue-and-groove "look alike" | g. Williamsburg scallop |
| c. Alternating board | h. Vertical style |
| d. Board and batten | i. Wrought iron |
| e. Boards and slats | |

Chain link fences are prohibited in all locations except under rear first level decks on Saint Annes Court. See deck standard for details.

ACC CODE OF STANDARDS, Continued.

ARBOR STANDARDS

Homeowners have three options regarding arbor cross struts and their supports. The first option is to maintain the arbor posts (4" x 4"), cross struts and supports in their original design and painted according to the paint standards. The second option is to remove all cross struts and retain the arbor posts and the long horizontal crossbar and paint to comply with standards. The third option, where jointly agreed upon, is to remove the arbor cross struts and supports down to the height of the post above the brace not to exceed 3" and bevel to conform with other posts. Vines or climbing plants on arbors are encouraged. Hanging baskets are permitted. Arbor removal requires adjoining neighbor's and ACC approval before modification is attempted.

PAINTING OF FENCES AND ARBORS

Paint standards are divided among arbors and front fences, side fences, and rear fences. Each of these three areas has its own list of approved paint colors as shown in the Paint Standards Appendix. Wrought iron fences, however, no matter the location on the property, may only be painted flat or semi-gloss black.

Front wooden fences includes fences in Legends **A**, **B**, **D**, and the wooden posts in Legend **C** in Fence Locations. Side wooden fences include the fences in Legend **E** in Fence Locations. Rear wooden fences include fences in Legends **F**, **G**, and **H** in Fence Locations.

In the case of end unit townhouses that have approved wooden side fences as shown in Legend **E** in the Fence Locations, the corner post between sections **E** and **G** shall be painted the approved paint color for section **E**.

ACC CODE OF STANDARDS, Continued.

Criteria for Violation (Fences)

- a. Broken, missing, faded, peeling, unapproved or defaced fences. Fence color must meet paint standards.
- b. Fences leaning more than five (5) inches from vertical.
- c. Badly warped, missing, or widely separated fence slats; or poorly repaired fences.
- d. Shrubs violate planting standards if they are not the type plants specified in this standard. They must be more than three (3) feet tall and spaced not less than 24 inches and not more than 36 inches from neighboring plants. At no time will the shrubs be over four and one-half (4½) feet high.
- e. Wrought iron fences violate the standards if they are not of the gauge, spacing, and thickness specified in this standard, have rust spots, and/or are not painted BLACK.

Criteria for Violation (Arbors)

- a. Arbor post leaning more than five (5) inches from vertical, arbor cross struts listing more than five (5) inches.
- b. Broken, rotten, unpainted, faded, missing or peeling posts or cross struts.
- c. Vines or plants so overgrown as to cause leaning arbors.
- d. Painted an unapproved color.

❖ An appendix on fence construction, maintenance, and repair begins on page III-41.

ACC CODE OF STANDARDS, Continued.

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ACC CODE OF STANDARDS, Continued.

SECTION 2: PARKING PADS

STANDARDS: Parking pads shall be constructed of plain, light-colored concrete without design and shall be limited to the space for parking pads set aside in the original design. However, parking pads at 8160-8168 Fernlake Court may be asphalt as originally designed.

Criteria for Violation

- a. Parking pads not of authorized construction and size.
- b. Parking pads with significant cracking or settling.
- c. Grease spots greater than three (3) feet in diameter.

SECTION 3: YARDS

STANDARDS: Front, side, and rear yards will be kept neat and free of weeds at all times. Shrubs and trees must be neatly trimmed. Dead shrubs and trees must be promptly removed. Homeowner's property subject to easements, even if behind back fences, is included (DCCR, Article XI). Statues such as "lantern boys," pink flamingos, grazing deer, etc., are not allowed in front or side yards. Toys, bicycles, lawn mowers, trash cans and bags, or other large items will not be habitually kept in front or side yards. Exterior clotheslines are prohibited (DCCR, Article VIII). Front, side, and back yards and patio landscaping require ACC approval of a written request and a sketch of the proposal. No plan will be approved that leaves any yard or patio in any season (including winter) substantially without shrubbery, live ground cover, or ACC-approved paving materials. Corn shall not be planted in any part of the yard (front, side or rear).

Criteria for Violation

- a. Unkempt yards, unapproved landscaping, unauthorized storage of above-listed items; landscaping that leaves a yard in any season (including winter) substantially without shrubbery, live ground cover, or ACC-approved paving materials; corn growing on any lot; or unauthorized storage of above-listed items.
- b. Homeowners are encouraged not to put their garbage out prior to the morning of collection. Garbage or trash may not be put in front or side yards until after dark the night before collection.

ACC CODE OF STANDARDS, Continued.

SECTION 4: GAS AND ELECTRIC LANTERNS

See Page III-26A.

SECTION 5: ORNAMENTS

STANDARDS: No ornaments (affixed to the house or standing in the yard) are allowed except for eagles no larger than two (2) feet square, standard Pennsylvania Dutch Hex signs, window planter boxes, and house numbers no larger than eight (8) inches in height.

Criteria for Violation

Non-compliance with the above.

SECTION 6: MAILBOXES

STANDARDS: Mailboxes will be mounted by a door only. Gramercy models may have mailboxes mounted by either or both front doors. Mail slots in doors are allowed. RFD mailboxes are not allowed.

Criteria for Violation

Broken, crooked, rusted, unpainted or unauthorized mailbox. Mailboxes mounted anywhere except at side of a door.

ACC CODE OF STANDARDS, Continued.

SECTION 7: SECURITY SYSTEMS

Security systems involving external fixtures require ACC approval. No large external fixtures will be approved.

SECTION 8: DECK AND PATIOS TIPS FOR DECK BUILDING

Check all local building restrictions to include State, County, and Pinewood Lake Homeowners Association standards and codes before proceeding with your plan. You most likely will need a building permit.

Use all galvanized or cadmium-plated fasteners to assemble the deck. The deck will last longer, and you'll avoid rust streaks on the wood.

Do not set wood posts in concrete. Use metal post connectors and set them in the fresh concrete. Attach the wood post to the concrete via the connectors. Metal post anchors offer an easy way to connect post slightly above the concrete to prevent wood contact and ultimate decay.

The best material choice for decks is the weatherproof woods, including pressure-tested lumber, redwood or cedar. The deck may be left natural, stained, or painted the ACC approved colors.

DECK STANDARDS: Decks are used as rear exit extensions of the first floor of townhouses on St. Anne's Court. Prior to new construction or replacement, a request must be submitted to and approved by the ACC. All provisions of the following paragraph apply.

Decks are also permitted as ground patio floors in the rear of townhouses not on Saint Annes Court and will be considered by the ACC on a case-by-case basis. The ACC request must include a written statement by the property owner addressing contact/consultation with the County, to include reviewing appropriate county codes, a site plan (sketch) showing size of deck, location as it relates to applicant's house as well as adjacent houses and property lines, description of materials to be used, and details of railings, posts, steps, benches, etc., as required to clearly describe the proposal. Include the height of deck off the ground. While deck designs may vary, railing designs are limited to the two shown.

Decks on Saint Annes Court may be duplication of original design or railing designs as shown on page III-27.

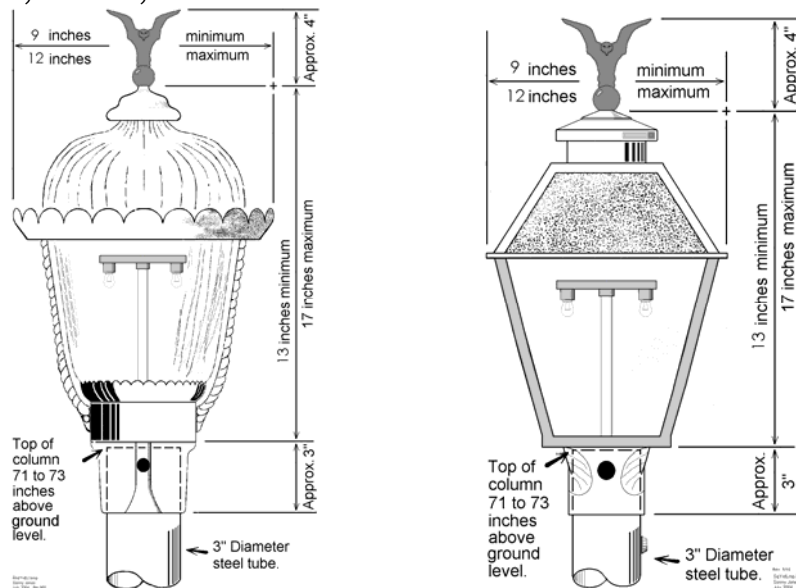
ACC CODE OF STANDARDS, Continued.

SECTION 4: GAS/ELECTRIC LANTERNS

STANDARDS: All lamps must be similar in general shape and size to original Federalist style lawn lamps. All lanterns and posts will be painted black with either gloss or flat rust-proof paint. The roof of gas lanterns shall be painted with heat-proof paint. Lanterns shall be lit from dusk till dawn. Glass or plastic globes or panes will be clear and kept clean. Open flame and mantles are acceptable. Lanterns that have decorative patterns that reduce lighting levels are not permitted. Top of column will be 71" – 73" above ground level. Lanterns may be 9" – 12" wide and 13" – 17" tall, excluding base and top ornament. Eagle with extended wings, pointed or round ornaments are permitted. Lantern sizes smaller than 9" wide by 13" tall are not permitted. Plaques with house number, owner's name or full street address may be mounted on the lamppost.

Criteria for Violation

- Missing lamppost and or lantern;
- Lamp not lit from dusk till dawn;
- Not similar in general shape and size to original Federalist style lamps;
- Lantern or lamppost too large or too small;
- Lantern is not black;
- Broken, missing, or dirty glass or plastic panes or globe;
- Rusty, discolored, scratched, or peeling paint on lamppost or lantern;
- Broken, burned out or missing light bulb(s);
- Missing or damaged mantles;
- Trash, leaves, or debris inside lantern.



ACC CODE OF STANDARDS, Continued.

SECTION 8, Continued.

The statement of consultation with the County along with the ACC request form should be submitted to the ACC at least 30 days prior to the desired construction start date. ACC approval is required prior to commencing construction. State, County, and community codes/standards must be met. County and ACC enforcement actions are a certainty. ACC consideration of the request includes, but is not limited to, the following requirements:

- Compliance of proposed project with applicable codes/standards,
- Quality of design and construction,
- Use of weatherproof woods consisting of pressure treated lumber, redwood or cedar, and
- Use of an ACC approved color to stain deck.

REQUESTS FOR SECOND STORY DECKS WILL NOT BE APPROVED.
(SECOND STORY DECKS ARE NOT PERMITTED.)

Criteria for Violation

Unapproved design, construction, materials, color, broken, rotted, faded or peeling decks.

CHAIN LINK FENCES: Chain link fences are permitted only in the rear of homes on Saint Annes Court. Prior to installation, a request must be submitted to and approved by the ACC Committee. Rear chain link fences must be installed under the rear deck and must be flush with the deck (ground to base of deck). Chain link must be 11.5 gauge, silver galvanized with a 2 ¼ inch diamond. Gates are permitted. No vine that cements to the chain link fence shall be allowed to grow.

Criteria for Violation

Extends outside deck; Color; Rusting; Growth of vines.

PATIO STANDARDS:

Front Patios

Construction of a front patio will be considered on a case-by-case basis. Prior to construction, a request must be submitted to and approved by the ACC. For ACC consideration, the request must include a sketch of the proposed project showing dimensions, orientation of the patio to the house, and description of the materials to be used. Overhead covers for front patios are not permitted. Homeowners are responsible for ensuring the project meets applicable County

ACC CODE OF STANDARDS, Continued.

and community codes and must be careful to avoid encroachment upon adjacent properties, common properties, or easements.

Rear Patios

Construction of rear patios will be considered on a case-by-case basis. Submission of a request to the ACC is required and must include a site plan showing size of rear patio, location in relationship to applicant's house, adjacent houses and property lines, description of the materials to be used and other details required to clearly describe the proposal. Homeowners must be careful to avoid encroachment upon adjacent properties, common properties, or easements. Rear fence construction must be of an approved design, with fence panels and posts painted an approved color. Overhead posts are to be painted an approved color. Overhead covers for rear patios will be considered on a case-by-case basis.

Some of the criteria are:

- The cover must not connect with the house in any way.
- The cover structure may be of treated wood or redwood.
- The cover may not have a corrugated fiberglass roof.
- The cover may not extend to the fence -side or rear.
- The cover supports must be painted/stained in accordance with existing ACC paint standards.

SECTION 9: SHEDS

See Page III-30A.

SECTION 10: AWNINGS

STANDARDS: Awnings are allowed in rear yards only. Approved materials and fabrics must be used. FIBERGLASS AWNINGS ARE NOT AUTHORIZED.

Criteria for Violation

Torn, sagging, badly faded or dirty awnings. Rusty, broken, leaning or bent supports. Broken lacings.

ACC CODE OF STANDARDS, Continued.

SECTION 11: CHIMNEYS AND FIREWOOD

STANDARDS: Proposed construction of any chimney must have ACC approval and County building permit. No outside chimneys are allowed in fronts of townhouses. Rear prefab chimneys, including holding brackets, must be painted the same color as rear shingles of townhouses. Firewood should be stacked neatly in the rear or at the side of end units. Care should be taken to leave space between walls and firewood to help prevent termite infestation. Firewood may not be stacked in driveways or fronts of homes.

Criteria for Violation

Unapproved chimney installation. Firewood not stacked in accordance with standards.

SECTION 12: FANS/AIR CONDITIONERS/ATTIC FANS

STANDARDS: No fans or air conditioners shall be placed in front or side windows. Electric attic exhaust fans shall be on the rear slope only or in the end unit attic window. No wind-powered turbines are allowed.

Criteria for Violation

Non-compliance with standards.

SECTION 13: LARGE PLAYTOYS

STANDARDS: Large play toys are structures of permanent nature such as swing sets, teeter-totters, basketball backboards. Such toys and games are not allowed to be erected by homeowners because of community problems of deterioration and proliferation. Recreational areas and toys are provided throughout the community.

Criteria for Violation

Non-compliance with standards.

SECTION 14: EXTERNAL Antenna

STANDARDS: The only approved external TV antenna are the Wineguard Sensor and RCA Ministate. Installation must be on flue pipe, and antenna top must not exceed 12 inches above the flue pipe. Installation plans require ACC

ACC CODE OF STANDARDS, Continued.

approval. TV antenna lead-in wires must be tacked along trim, downspout or corner in the rear. No external CB antenna are allowed (DCCR, Article VIII).

Criteria for Violation

Non-compliance with standards.

SECTION 15: REAR SIDING

Homeowners, upon approval of their request by the ACC, may replace their rear shingles -- in toto -- with vinyl, aluminum, or "super steel" siding, which gives the appearance of textured clapboard siding. Homeowners should be aware that their rear walls are NOT insulated and therefore any contractor they retain should be able to remedy this situation when siding is installed. The siding may ONLY be installed horizontally. Colors of both shingles and siding should comply with the approved rear elevation colors in the Paint Standards Appendix. Siding should be warranted against manufacturing defects for a minimum of 26 years. Prior approval by the ACC is required.

SECTION 16: OTHER DCCR RESTRICTIONS APPLICABLE TO ACC

- a. Article VIII - Nothing over four (4) feet shall be erected or planted on lots located at the intersection of two streets where the view might be obstructed.
- b. Article X - Nothing shall be done which may be or become a nuisance to the neighborhood.
- c. One professional sign of not more than one (1) square foot and one "FOR SALE" or "FOR RENT" sign of not more than five (5) square feet are the only signs allowed. No individual water supply system shall be permitted.
- d. Article XI - Nothing shall be constructed or planted to interfere with access to utility easements or to other lots, or which might damage utility installations.

SECTION 17: PAINT STANDARDS

STANDARDS: All horizontal construction (houses, fences, decks, and sheds) must be painted an approved ACC color that is consistent with the traditional Federalist style of architecture that characterizes Pinewood Lake. A book of approved colors with color chips is maintained in the PLHA office and may be inspected from 12:00 to 3:00 PM, Monday through Friday, and 9:00 AM to noon, Saturday, or by appointment with the ACC Chair or ACC Administrator.

ACC CODE OF STANDARDS, Continued.

a. Colors selected for each house shall harmonize with the block and street, to prevent over-duplication and conflict of colors. The ACC tries to ensure that there will be no adjacent houses of the same color, and no three adjacent houses of similar colors.

b. Paint shall be a flat finish. The one exception is for the wrought iron fences where a semi-gloss paint may also be used. A gloss or high-gloss finish may not be used, regardless of the paint type. All of the paint colors referred to in this standard are from the Benjamin Moore and Company, Color Preview Line or Classic Line. Other paint manufacturers may be used; however, the homeowner is responsible for matching the Benjamin Moore and Company color, **which will be subject to a sample painted on the house for final ACC approval.** The layout of the colors has been greatly simplified and the terminology for painted surfaces has been changed. The following list describes each category of painted surface. Please see the Paint Standards Appendix for a listing of the approved colors for each area.

Brick: Most of the brick façades in Pinewood Lake are unpainted and shall remain so. Façades that were painted before April 2008 may continue to be painted one of the approved colors for brick listed in the Paint Standards Appendix. There shall be no contrast painting of individual brick elements, such as protruding brick string courses: all brick on any one home shall be painted the same color.

Woodwork Trim: This is all stationary woodwork on the façade (if it is raised, it is woodwork trim). This will be painted in one color, without contrasting panels or moldings. The previous surfaces called major and minor trim shall all be painted the same approved color, except for the shutters and the recessed planes as explained below. All fascia board, rake boards, soffits, gutters, and the like are all stationary (non-moving) trim and thus are all painted the same color. Window sashes are the moving parts of the window and will be white, beige, or a match to the other approved woodwork trim colors as designed by the manufacturer and approved by the ACC for consistency with the rest of the community's window sash colors. Refer to examples of the façades for labeling of the woodwork trim parts of your home.

Recessed Plane: Refer to Illustration of Elevation 3 for an example. These recessed planes shall be painted one of the approved colors for Recessed Planes listed in the Paint Standards Appendix and designated to complement each of the Woodwork Trim colors.

Shutters: The shutters shall be painted entirely in one color. Four greens, a red, a gray, and a blue color are provided for natural brick façade houses. In addition, two brownish red colors are provided for additional selection for houses with painted façades. These brown-reds are to be used on shutters only where the façades are painted. If the homeowner chooses to use vinyl shutters, color names and numbers are provided from a specific manufacturer: Manufacturer – Mid America; Suppliers – Smitty's and Mid-South at 7940 Woodruff Ct., Springfield, VA 22601.

ACC CODE OF STANDARDS, Continued.

Painted flashing and metal roofing: One of the indicated colors in the Paint Standards Appendix shall be used for these elements.

Doors: Doors shall be painted entirely in one color. Twelve colors are provided for selection. A wider variety of color is deliberate here, so that the front door becomes a focal point. These colors apply to the front and back doors.

Wrought Iron, Iron Posts, and Lanterns: All wrought iron, iron posts, and lanterns shall be painted the same color in a flat or semi-gloss paint. This replaces conditions where the wrought iron is painted the same color as the trim in one location and black in another location. Wrought iron railings are the iron fences or railings located in the front, side or rear of the home. These may be on the ground or located on the house.

Rear elevations: Colors for the rear elevations, which are wood or vinyl siding, are indicated in the Paint Standards Appendix. Matching vinyl siding colors from Home Depot's selection are provided for the vinyl alternative. Vinyl siding must match these colors. The siding color is for the siding only, that is, the horizontal boards. The trim (vertical edging boards, window frames, door frames, soffits, etc.) of the rear of the building shall be the same trim color as for the Woodwork Trim on the front of the building. Rear doors may be the same color as the front door, or another of the indicated door colors.

Sheds: Sheds shall be painted with Benjamin Moore Louisburg Green or an ACC-approved rear elevation paint or stained with Olympic Maximum Waterproofing Sealant with Honey Gold Tint.

Front garden fencing, Parking Pad Fencing, Arbors, and Side Fencing (All wooden fences and posts in Sections A, B, C, D, and E of Fence Location Diagram on Page III-14): The front garden fencing, both posts and panels, shall be painted one color. The arbors shall also be painted the same color as the front garden fencing. All of the above fencing components will be painted the single community color listed in the Paint Standards Appendix. There is no longer any variation of the front fence or side fence colors from property to property. End units with a fence in section E will have the side fencing color going up to and including the rear corner fence post between Sections E and G.

Rear Fencing (All wooden fences and posts in Sections F, G, and H of Fence Location Diagram on Page III-14): The rear garden fencing (all portions) shall be painted to match a single ACC-approved color as listed in the Paint Standards Appendix, sealed with the same tinted sealant (Olympic Maximum Waterproofing Sealant with Honey Gold toner) on pressure treated lumber that the community currently uses on its perimeter fence, or stained a clear stain on cedar lumber. Homeowners with stained natural fences shall paint top rails (sides of top rails shall be stained natural) and posts with a single ACC-approved color when one side of a shared fence is stained and the other side of the shared fence is painted. If both fences are stained, homeowners shall stain top rails and posts.

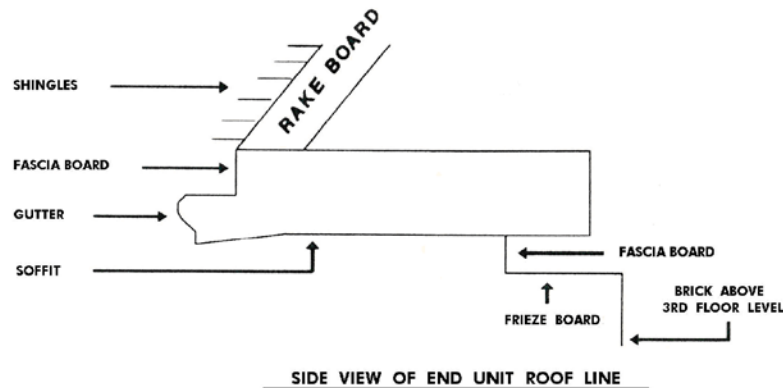
Wood Decks: All wooden decks shall be painted to match the rear elevation color, stained with a single ACC-approved stain, or left natural. Wooden decks are the

ACC CODE OF STANDARDS, Continued.

rear porches/decks of townhouses on Saint Annes Court and other locations as individually approved by the ACC.

Criteria for Violation

- a. Any house trim, gutter, downspout, shutter, wrought iron, fence panel, post, arbor, shed, deck, lawn lamp that has evidence of peeling, cracking, chipped or defaced paint; rust; or exposed metal.
- b. Painted brick if brick has chipped or paint has faded, exposing natural brick through the paint.
- c. Natural wood decks with discoloration, mold, split or rotting boards, or other evidence that the wood deck has not been properly stained, treated with a wood preservative, or recently power washed.
- d. Failure to receive prior, written ACC approval to paint.
- e. Failure to paint an area according to ACC standards and with approved ACC colors.



SECTION 18: WINDOW DESIGN

STANDARD: To preserve the Pinewood Lake's Federalist period styling, only windows matching the original design will be used. Replacement windows will have panes and duplicate the original design (see below). Window construction may be multi-layer with pane grid built-in, or the window grid may be removable for ease of cleaning or painting. Plain glass windows without the original pane grid design feature are not permitted. Rear top level windows must be the original design of eight (8) grids per pane. Front bay windows may be replaced with three (3) double hung windows with the center window having six (6) grids per pane and the two side windows having four (4) grids per pane. Rear picture window may be five (5) or six (6) grids horizontally and must be four (4) grids vertically. Homeowners have the option to replace the rear picture window with two (2) double hung windows with the same grid pattern or to replace the picture window and two double hung windows (one either side) with three (3) equal-sized double hung windows each with four (4) grids horizontally and four (4) grids vertically so as to maintain the same exterior grid appearance. **EXCEPTION TO THIS POLICY ARE THE REAR WINDOWS FOR HOMES ON SAINT ANNES COURT.**

Criteria For Violation

Non-compliance with above.

ACC CODE OF STANDARDS, Continued.

SECTION 19: VINE STANDARD

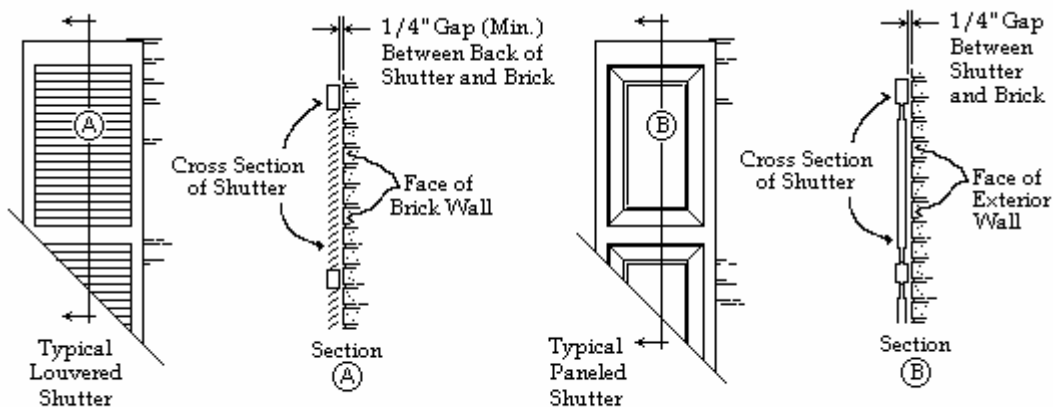
STANDARD: Vines that cling and cement themselves to structures and trees present a fire hazard and promote rot. They cause damage to paint, brick, and wood. In trees, they cause a tree's eventual death. Therefore, the following standard will apply:

No vine that cements to surfaces shall be allowed to grow on structures (house, shed, fence...) or into trees. Examples of prohibited vines include English Ivy, Virginia Creeper, and Woodbine.

Note: Twining vines are permitted to grow, but must be kept neatly trimmed. These vines include wisteria, morning glories and clematis.

SECTION 20: SHUTTER STANDARD

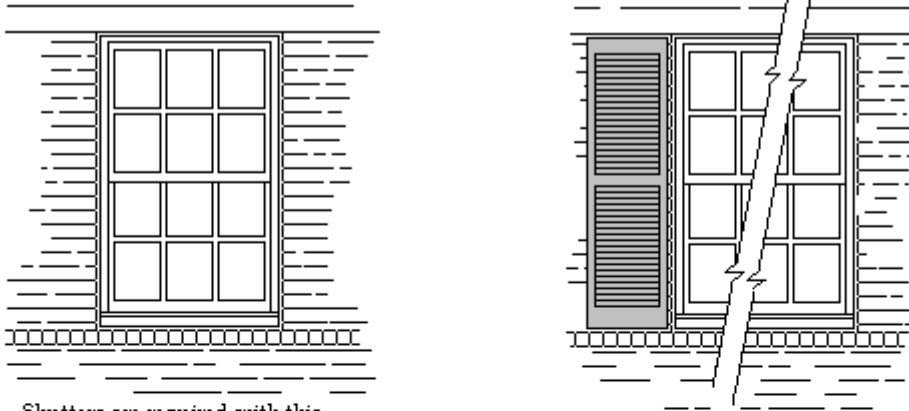
STANDARDS: Shutters are required at the windows and doors of some Pinewood Lake town houses. Illustrations of these configurations follow on this and succeeding pages. Shutters may be either a louvered or solid panel style, constructed of either wood or paintable vinyl, as shown below. Shutters shall be proportional to the windows or doors which they flank, and extend the full height of the window or door. Shutters shall be painted an approved shutter color as listed in the Paint Standards Appendix. Shutters shall be firmly attached to the exterior brick wall of the building; a typical mounting is illustrated on a succeeding page.



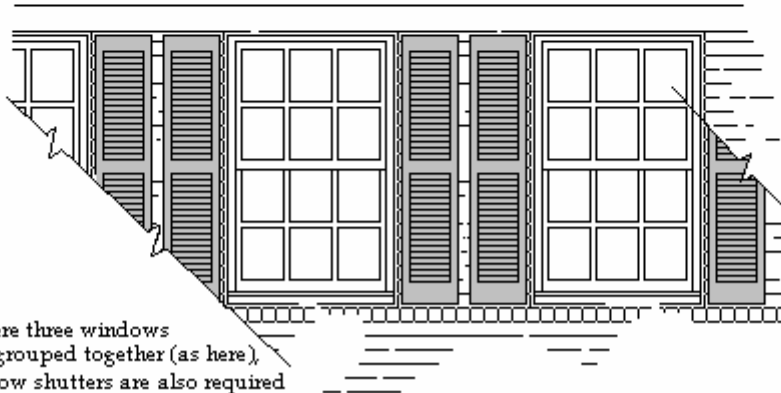
Drawings Not To Scale

ACC CODE OF STANDARDS, Continued.

- a. Shutters are required at windows which *do not* have the painted wood panel of between the window frame and the brick opening, as shown in these illustrations. Note that shutters extend the full height of the window opening.

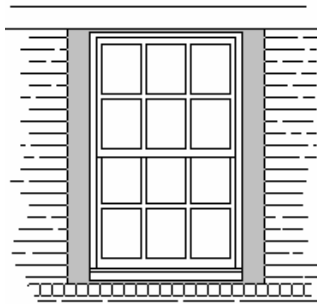


Shutters are required with this window configuration.



Where three windows are grouped together (as here), narrow shutters are also required for these windows.

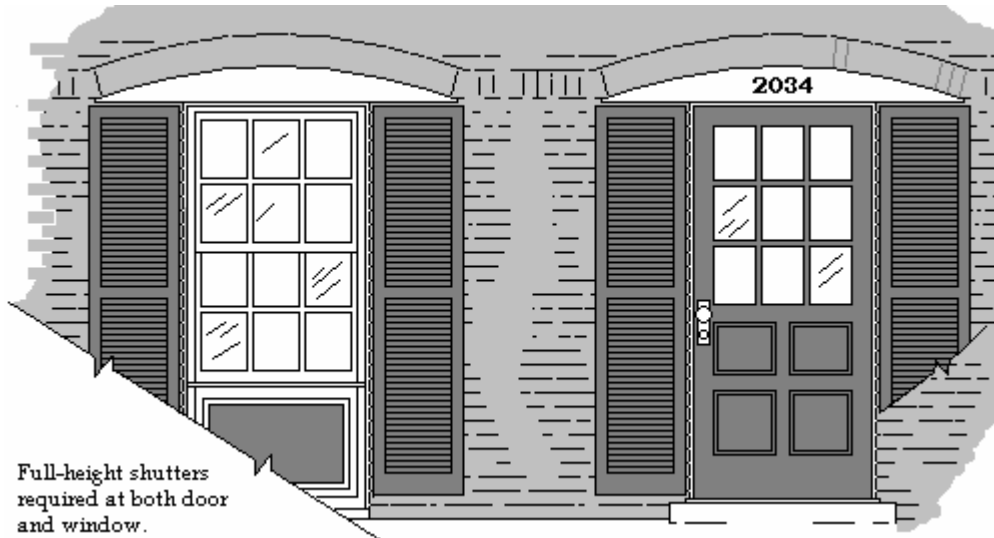
- b. Shutters are not required at windows which have the painted wood trim panels between the window frame and the brick opening, as shown in this illustration:



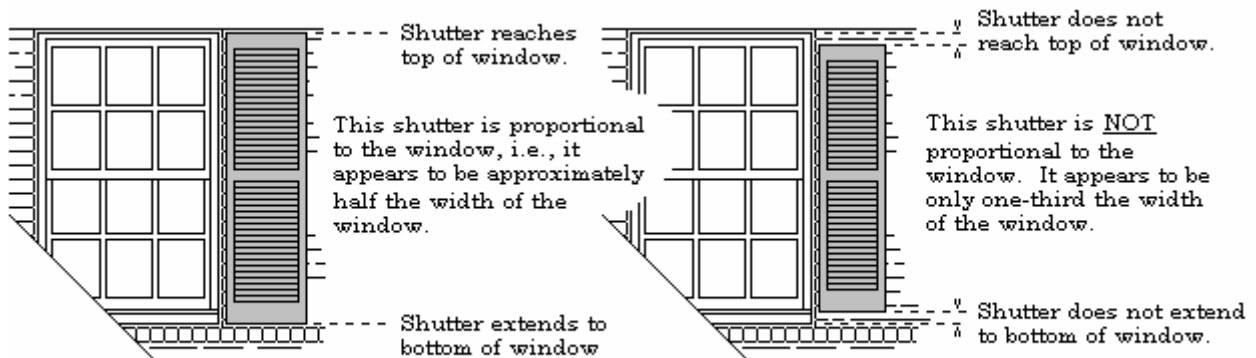
Shutters are NOT required with this type window configuration.

ACC CODE OF STANDARDS, Continued.

- c. Shutters are not required at most door configurations. However, there is one exception, and that is the façade with arches over both the front door and the window, as shown in this illustration. Both the door and the window require full-height shutters from the head of the door/window to the sill of the door/window. A painted wooden panel fills the space between the head of the door/window and the brick arches.



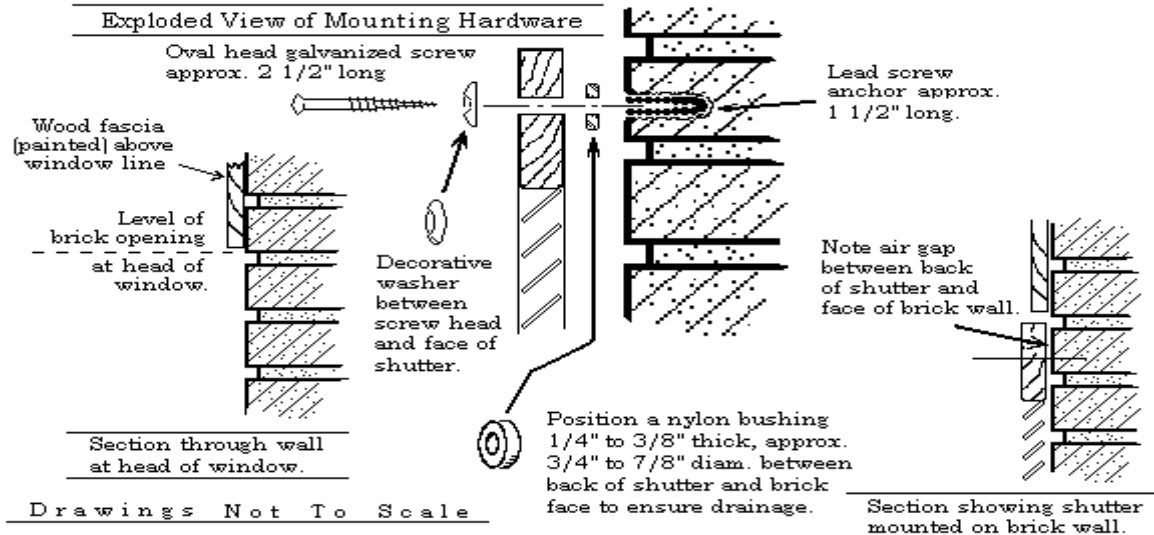
- d. Size and proportion of the shutter, relative to the window or door, is very important. The top edge of the shutter should be closely aligned with the brick opening of the window or door (see illustration below), and extend to the bottom of the window. The width of the shutter, where possible, should be nearly half of the width of the window or door. Shutters that are too narrow, and/or which do not extend to the full height of the window are not pleasing in appearance.



Illustrations of correct and incorrect sizes of shutters.

ACC CODE OF STANDARDS, Continued.

- e. Installation: Any of several methods and types of hardware may be used to attach the shutters to the brick wall. The goal is a long-lasting, trouble free installation. To prevent accumulation of water between the shutters and brick walls, it is very important to build in an air gap. A typical, optimum, installation method is shown here:



Criteria for Violation

- One or more missing shutters on those houses where shutters are required.
- Shutters not painted an approved shutter color.
- Shutters requiring repair or repainting.
- Shutters of an improper design or construction.

SECTION 21: DOOR & STORM DOOR STANDARD

Homeowners have the choice of front and rear door styles/types but must receive ACC approval prior to installation. Color of front and rear doors must be from the approved color choices.

Homeowners have the option to have front door side lights painted/stained the same approved color as the front door.

Front and Rear storm doors must be approved by the ACC, kept clean and in good working condition with no broken glass or torn screens. Front and rear storm doors must be properly hung on working hinges.

Criteria for Violation

- Not approved color.
- Doors that are not in working condition, have broken glass, torn screens, or are not properly hung.

ACC CODE OF STANDARDS, Continued.

SECTION 22: ROOFING

STANDARDS: In addition to traditional 3-tab asphalt and fiberglass shingles, homeowners may also install laminated shingles, also known as architectural or 3- dimensional shingles. Algae-resistant (AR) to protect against discoloration from algae on the roof are highly recommended.

Homeowners must submit a sample shingle color consistent with the current palette in the community for approval.



Criteria for Violation

- a. Roof shingles extending more than approximately one (1) inch
- b. Non-compliance with standard

SECTION 23: WALKWAYS & AREA UNDER FENCE LOCATION C (PARKING PAD FRONT FENCE)

Homeowners, upon approval of their request by the ACC, may install the following materials in their front or rear walkways:

- 1. Natural Stone or Stone Faced Veneer:
Sample colors are: Gray, Tan, and Earth tone colors
- 2. Brick:
Sample colors are: Tan, Brown, Red, and Earth tone colors
- 3. Pavers:
Sample colors are Tan, Brown, Red, and Earth tone colors
- 4. Concrete or Stamped Concrete

ACC CODE OF STANDARDS, Continued.

Homeowners, upon approval of their request by the ACC, may install the following materials under their front fence location C (parking pad front fence) wrought iron railing. (For Homeowners on Saint Annes Court, this applies to the retaining wall):

1. Natural Stone or Stone Faced Veneer:
Sample colors are: Gray, Tan, and Earth tone colors
2. Brick:
Sample colors are: Tan, Brown, Red, and Earth tone colors
3. Wood (6x6 or railroad ties) which may be left natural or stained Olympic Maximum Waterproofing Sealant with Honey Gold Toner or painted Benjamin Moore Navajo White.

Homeowners must state in the ACC Request Form what color materials they will be using.

Criteria for Violation

- a. Unapproved material
- b. Unapproved color; faded or peeling paint, mismatched colors
- c. Chipped brick
- d. Failure to receive prior, written ACC approval

ACC CODE OF STANDARDS, Continued.
Architectural Control Committee Request/Approval Form

Architectural Control Committee (ACC)
Pinewood Lake Homeowners Association
8159 Fernlake Court
Alexandria, VA 22309-1209

Date: _____

House Colors on Right (Shutter/Trim/Brick): _____
House Colors on Left (Shutter /Trim/Brick): _____

Dear ACC:

Pursuant to Article VIII of our community's Declaration of Covenants, Conditions, and Restrictions; the ACC Standards, and the PLHA By-Laws, the following proposed exterior changes to my property located at:

_____ Include: _____

(Sketches, pictures, diagrams, color paint chips and additional details of my proposed project are attached to assist the ACC, and minimize delay in approval of, and completion of the project.)

ACC approval for the project is contingent upon quality workmanship and timeliness of work (within 12 months from date of approval). ACC approval is not a substitute for compliance with applicable Fairfax County/Lee District building codes or ordinances. Compliance with the latter remains the responsibility of the homeowner(s).

_____ Homeowner Signature	_____ Homeowner Signature	_____ Homeowner Signature
_____ Address	_____ Address	_____ Address
_____ Telephone	_____ Telephone	_____ Telephone

Endorsement

The ACC, having carefully considered the above request, hereby:

- Approves the proposal as submitted. Approves the project, except as modified below. Regretfully cannot approve the project for the reason(s) cited below.

Date of ACC Action: _____

Yours for a better community,

The Architectural Control Committee
Pinewood Lake Homeowners Association

If the ACC can be of further assistance, please contact us through the PLHA Administrative office at 703-360-6212. Thank you for your cooperation.

SAMPLE FORM

*Pinewood Lake Homeowners Association
Architectural Control Committee
Second Annual Rolling Walk-Around*

1. Lot Number:

3. Street Address:

2. FRONT AREA INSPECTION	4. REAR AREA INSPECTION
Recessed Plane	Recessed Plane
Painted Metal Flashing	Woodwork Trim
Woodwork Trim	Brickwork
Brickwork	Wood Fence
Wood Fence	Wrought Iron
Wrought Iron	Windows
Windows	Yard
Yard	Shingles/Siding
Lawn Lamp	Patio
Shutters	Shed
Fascia Board	Deck
Rake Board	Fascia Board
Parking Pad	Vertical Boards
INSPECTOR'S COMMENTS	

5. RECOMMENDATION OUTSTANDING HOME AWARD (FALL ONLY) _____

(To be determined by ACC at a later date)

SPOTLIGHT HOME _____

(To be reinspected by _____)

6. DATE OF RE-INSPECTION (IF APPLICABLE):

INSPECTOR'S NAME(S): _____ Karen Jones

8. PHONE NUMBER(S): 703-203-4506

INSPECTION CODES		
01 Needs Painting	09 Unauth TV Wires	16 Unauth Ornament
02 Needs Repair	10 Unauth Antenna	17 Unauth AC (Window)
03 Missing	11 Unauth Auto	18 Unauth Window Fan
04 Dirty	12 Unapproved Color	19 Rusty
05 Needs Replacement	13 Unauth Items Stored	20 Unauth Fence
06 Unkempt	14 Clothes Lines	21 Missing Mantle/Bulb
07 Broken Glass	15 No Window Grids	22 Needs Trimming
08 Chipped Bricks		

10. DATE OF INSPECTION:

INSPECTOR'S SIGNATURE:

ACC CODE OF STANDARDS, Continued.

APPENDIX ON FENCE CONSTRUCTION, MAINTENANCE, AND REPAIR

CHOOSING LUMBER

Lumber is sold in a variety of grades. The top most grades are smoothly finished and generally free of knots and blemishes. For the fence types in this standard, which depend upon the appearance of the wood and its weathering ability, the topmost grades of preservative treated lumber will be necessary. It is a good idea to hand select wood if the lumber yard will allow it.

Lumber used in fence building is drawn from stock sizes. Before buying lumber, careful note should be made of the proper dimensions. An extra two and one-half feet (2½') should be allowed for embedding posts in the ground.

Lumber for fences must be preservative treated and should be reasonably dry and seasoned. If wet lumber is bought, it should be dried out for at least a week before it is used. Fence builders should be cautioned to allow for the expansion and contraction of wood when using interlocking lumber and remember to set joints loosely.

CHOOSING HARDWARE

An important detail for the maintenance and long life of a fence is the use of durable hardware (latches, hinges, and nails). All hardware should have a protective flat finish (non-reflective surface). In selecting fastenings for the fences, overly decorative latches and hinges should be avoided.

Plain iron or steel hardware should not be used since it will corrode, deteriorate the wood, and cause unsightly black discoloration on the surface.

The most common outdoor nail is the galvanized nail which is simply a standard steel nail plated with a thick coating of zinc. Although galvanized nails will withstand weathering for many years, the protective zinc film will eventually leach off, exposing the steel core to rust.

Aluminum alloy nails are excellent for outdoor use but are sometimes difficult to obtain. Although they corrode, the action is slow, almost imperceptible, and does not stain wood or paint. Aluminum alloy nails are more expensive than galvanized nails, but the extra expense may be a future savings on repainting costs.

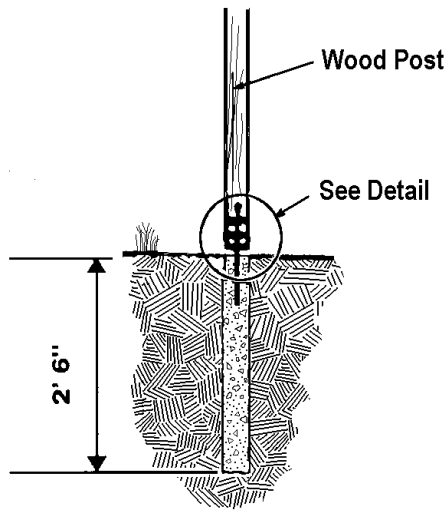
ACC CODE OF STANDARDS, Continued.

SETTING POSTS

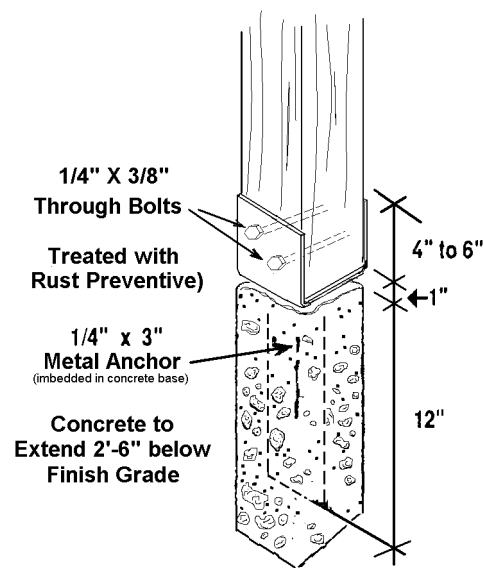
Setting posts is the most critical stage in fence building since fences which run straight and true depend upon properly plumbed and accurately aligned posts. Posts must also be solidly embedded to prevent their leaning with the weight of the fence. All posts must be preservative treated.

When preparing postholes, it is wise to use a post-hole digger in order to achieve a cleaner, tighter hole. The two best approaches of securing a post are the post set in concrete fill and the post attached to metal anchor embedded in concrete methods. If the soil is unstable (apt to sluice away in winter or to bulge and crack in summer) the latter method is absolutely necessary.

Shown below, and on the following page, are illustrations of two methods of setting posts using concrete footers, and ways of fastening posts to those footers.



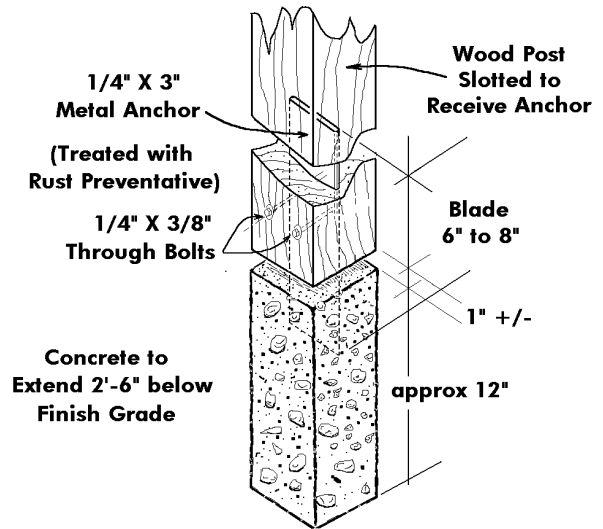
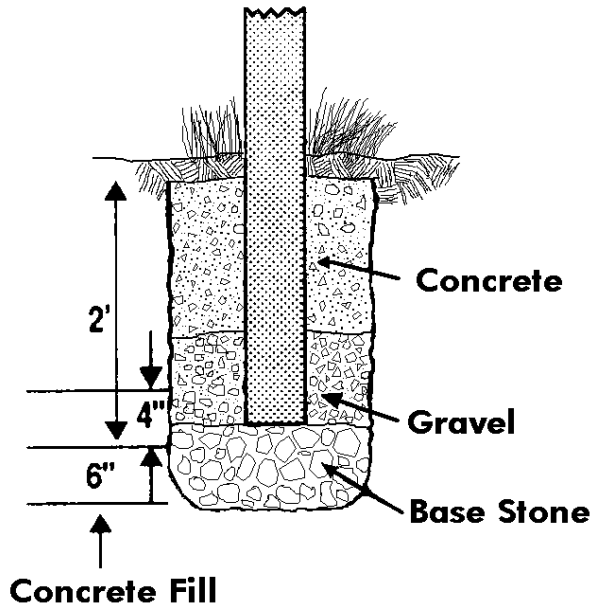
**Post Attached to Metal Anchor
Embedded in Concrete**



ACC CODE OF STANDARDS, Continued.

SETTING POSTS, continued.

Shown here is an alternate way of setting wooden fence posts:



ACC CODE OF STANDARDS, Continued.

MAINTAINING YOUR FENCES AND ARBORS

If you want your fence and arbors to live a long life, give them an annual checkup, preferably in the Spring while the ground is soft but not muddy.

First, check both the posts and the arbor cross struts for rot. The first signs of decay usually appear on posts at ground level, or a few inches below it and for the cross struts at the point they are secured to the cross support beam. For the posts, dig around them about four (4) inches below ground level and check it for rot with a pocketknife, ice pick, or other sharp pointed tool. If the blade penetrates the wood easily, rot has set in and the post will have to be repaired or replaced. The same test can be done on the arbor cross struts at the point they are secured to the cross support.

In some cases, the posts and cross struts will be so rotted that quick visual inspection will tell the whole story.

Check post alignment with a carpenter's level to make sure that all posts are still plumb. Over the years, posts sink or tilt because of unstable soil, frost heaving, or wind action. To remedy the problem, you'll first have to realign the posts and then reset them.

Next, check for loose rails and siding; re-nail if necessary, using good quality aluminum alloy or galvanized nails. If boards or rails have aged to the point they split when nailed, you'll have to replace them with new ones.

If you have plantings against a fence, look for tendrils, shoots, or small branches that have worked themselves into fence joints where they will pry apart the fence.

You can extend the life of both the painted fence and the arbors by routinely checking the condition of the finish and repaint/repair when necessary.

REPAIRING YOUR FENCES AND ARBORS

Fence and arbor repair most often means repairing or replacing posts and arbor cross struts, simple because they are the most likely to decay, or to be thrown out of alignment by wind action, unstable soil, or merely the weight they must carry. Misaligned posts can loosen both fence panels and arbor cross struts causing further damage like warping or splitting.

It is best to replace decaying post and cross struts before they rot completely through. When a post loses its structural strength because of rot, it not only

ACC CODE OF STANDARDS, Continued.

fails to hold up its share of the fence and the arbor, but it adds its own weight to the burden that neighboring posts must support. Deterioration of a whole section of fence and arbor can proceed rapidly from this point.

REPLACING EXISTING POSTS

Removing the post entirely and replacing it with a new one is the only practical repair method. When you replace a post, take care when removing the hardware and nails so you do not damage the fence panels.

HERE'S HOW

1. Cut old post off at ground level and carefully detach upper part from hardware and panels.
2. Dig out underground portion of post, making sure you remove all pieces of rotted wood from hole. Since post is set in concrete, use a pick or wrecking bar to break concrete into manageable chunks for removal.
3. Dig out hole to proper depth.
4. Set new post in concrete and gravel, using one of the two previously stated methods; align post vertically with a level before concrete sets.

ACC CODE OF STANDARDS, Continued.

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